

# Department of Commerce, Community, and Economic Development

ALCOHOL & MARIJUANA CONTROL OFFICE

550 West 7<sup>th</sup> Avenue, Suite 1600 Anchorage, AK 99501 Main: 907.269.0350

#### **MEMORANDUM**

TO: Robert Klein, Chair and

Members of the Board

FROM: Sarah D. Oates,

**Program Coordinator** 

DATE: November 23<sup>rd</sup>, 2016

RE: First and Second Waivers

1992 Brown Jug: Liquor Stores USA North, Inc.

No Premises; Anchorage License: Package Store

Second waiver application.

2159 Club 210 East: Club 210 East, Inc.

No Premises; Anchorage License: Beverage Dispensary

Second waiver application.

**4580 Las Margaritas:** Las Marg, LLC 8001 Old Seward Highway; Anchorage

**License: Beverage Dispensary** 

First waiver application.

**4170 Lavelle's Bistro:** Café de Paris Catering Co.

575 1<sup>st</sup> Avenue; Fairbanks License: Beverage Dispensary

First waiver application.

3767 Peking Garden: Lih & Tracy Tzou

775 W Evergreen; Palmer

License: Restaurant / Eating Place

First waiver application.

**5357 Sourdough Mining Company:** Sourdough Mining Co., an AK Restaurant, Inc.

5200 Juneau Street; Anchorage License: Restaurant / Eating Place

First waiver application.

1566 Steve's Sports Bar & Grill: SLF International, Inc.

No Premises; Anchorage License: Beverage Dispensary

Second waiver application.

# Waiver of Operation Application

License Information	<del></del>	Fees*	1901
Liquor License Number: 1992		Waiver Fee	
License Type: Package Store		Penalty	\$ 1,500.00
Local Governing Body: (City, Borough or Unorganized)	Local Governing Body: (City, Borough or Unorganized)		\$ 1,000.00
Municipality of Anchorage		(If applicable)	
AT C.Y.		Total Submitted	\$ 1,500.00
Elddor Otoles DOA NORTH INC.		*The fee is non-refundable	1,000.00
Doing Business As (Business Name)		Telephone Number:	
Mailing Address: Brown Jug-No Premis		·	(780) 917-4185
#300, 10508-82d Avenue Edmonton, Alberta T6E 2A4		or Location of Busines	SS
Canada	No Prem	ilses	
W	City: Anchora	nge	
Waiver Request Information			
This waiver application is the:		Other	
Waiver Request for Calendar Year:  Is this license for 2016  ☐ Yes	sale?		
Explanation of the circumstances for non-operation the license was not operated, any future plans for our	of license. Include	relevant informat	ion as to when
	perating the license	and projected tim	elines Attach
additional sheets if necessary.			ATTIACH
Lighter Storog LISA Name to 1900			
Liquor Stores USA North Inc. ("Owner") acquired this li Owner has been actively pursuing a suitable location to	cense from Mark Soll	enberger in Decemb	per of 2014.
in 2016 to purchase a site, but problems developed du	or this license in South	n Anchorage and sig	ned a contract
looking for a suitable location to lease or purchase for a so in 2017.	operation of this licens	ently. Owner is once	again actively
so in 2017.		so and anticipates De	aniñ anie to do
			}
Signature of Licensee(s)			
Signature	Signature		
Styler Belie	orguature		<del> </del>
Name (Please Print) Liquor Stores USA Noith Inc. By: Stephen Babis; President	Name (Please Print)	<u></u>	
Date 10 31 2014	Date		
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### Waiver of Operation Application

* //*			
License Information		TE - 141	96
Liquor License Number: 2159		Fees* Waiver Fee	\$ 500000
License Type: Beverage Dispense	- 14	Penalty	<b>2500</b> \$1,000.00
Local Governing Body: (City, Borough or Unorganized)	-	(If applicable)	\$ 1,000.00
Municipality of And	0	Total Submitted	\$ LAADOO
Name of Licensee: Elle   Harris Club	210 Fast Im	*The fee is non-refundable	-000 300
Doing Business As (Business Name)		Telephone Number:	
Mailing Address: 726 Muldon Rol.		or Location of Busines	SS
Anch. AK 9950-	City: Ph	Pionisos	>
	City. Pitu	riving	
Waiver Request Information  This waiver application is the:    1st Request   2nd Reque	)	0	
		Other	
Waiver Request for Calendar Year:  2016   Is this license for Period   Yes	sale? No		
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Explanation of the circumstances for non-operation the license was not operated, any future plans for or	of license. Include	relevant informat	ion as to why
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Elas adm	Signature		
lame (Please Print)	Name (Please Print)		
ate 10/16	Date		

# Waiver of Operation Application

License Information				
		Fees*		
Liquor License Number: 4580		Waiver Fee	\$ 125000	
License Type: BERVERAGE DISPENSARY	LIC.	Penalty	\$ 1,000.00	
Local Governing Body: (City, Borough or Unorganized)	ш.	(If applicable)	1,000.00	
MUNICIPALITY OF ANCHORAGE		Total Submitted	\$12500	
Name of Licensee: LAS MARG LLC.		*The fee is non-refundable		
Doing Business As (Business Name)  LAS MARGARITI	AS	Telephone Number:		
Mailing Address:		or Location of Busines		
9131 EMERALD DR.		SEWARD HWY	is	
ANCH: AK. 99502	City: ANCHO	DRAGE	DENALD 17W9 DRAGE	
Waiver Request Information				
This waiver application is the:	uest D 2rd Dogwood D	7 04		
Waiver Request for Calendar Year: Is this license for		Other		
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Explanation of the circumstances for non-operation the license was not operated, any future plans for opadditional sheets if necessary.  WE TRY TO SALE THE BUSS	erating the license	relevant information and projected tim	ion as to why elines. Attach	
Signature of Licensee(s)				
Signature Land	Signature			
Name (Please Print)	Name (Please Print)			
Date 10/20/2016-	Date			

Waiver of Operation Application

A\$ 04.11.330(a)(3)

Please cell \$78-1954 For CC#

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License Information		Fees*	4109
Liquor License Number: 4170		Waiver Fee	\$ 17.50.00
License Type: Beverage Dispensary		Penalty	\$ 1,000.00
Local Governing Body: (City, Borough or Unorganized)		(If applicable)	1,000.00
City of Fairbanks	*1	Total Submitted	\$ 1150.00 V
Name of Licensee:	atenna Co.	*The fee is non-refun	
lapas (ame)	0	Telephone Numl 907-456-16	per:
Mailing Address: 575 First Ave	Street Address	or Location of Bu	siness :
Fairbanks, Alaska 99701	603 Lace	y Street Fbks.	
	City: Fairba	anks	
Waiver Request Information			+
This waiver application is the: ☐ 1* Request ☐ 2nd Request	☐ 3 <sup>rd</sup> Request [	Other	· .
Waiver Request for Calendar Year: 2016  Is this license for sale			1
Explanation of the circumstances for non-operation of the license was not operated, any future plans for			<del></del>
the license was not operated, any future plans for opera additional sheets if necessary.  Design Alaska was hired to do a feasibil restaurant in February of 2016. Discuss further design work then finding a contra season came into full swing. There are a from the city (number of bathrooms neces hopefully we can start construction in the Enclosed is some documentation pertain	lity study and co sions about differ actor became a still some plann essary if we have a early part of 2	onceptual designment facets of major issue as ing decisions to seasonal ro	gn for this the operation led to construction hat we are waiting on
Signature of Licensee(s)			· · · · · · · · · · · · · · · · · · ·
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2/20 P.002/020

(FAX)

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3/20

P.003/020

(FAX)

10/20/2016 15:30

Tapas Restaurant Fairbanks, Alaska

**Investigative Report** 

For: Frank Eagle 575 1st Avenue Fairbanks, Alaska 99701

February 16, 2016





#### STRUCTURAL INVESTIGATIVE REPORT

#### SUMMARY

This report presents, in general terms, the structural modifications that would be required to convert the existing building at 603 Lacey Street into a restaurant and lounge. Converting the roof into a dining area was considered, but this option would require extensive structural modifications and therefore is not recommended. The other option considered involves construction of a new deck adjacent to the building and limited modifications to the existing structure, mostly associated with the removal of some bearing walls. We recommend pursuing further design of the deck dining option.

Some structural freming is required to support the existing roof in the northwest corner of the building, regardless of which option is chosen.

#### SCOPE

The scope of this investigation is limited to concept-level feasibility of two dining options. This report is not a conditional assessment of the existing structure. This report does not attempt to remedy structural issues identified in previous reports, such as cracks in the slab or walls. Also, in the absence of as-built documentation, the structural analysis is limited to assumptions discussed below. A whole building codecompliance check was not performed, and the building's resistance to wind and seismic forces was not considered. This structural evaluation is limited only to the changes in loading conditions that would result from building alterations and usage as a restaurant, as shown on the provided Architectural concept plans.

The architectural concept plans require structural modifications of the building. These modifications will require further design development, including improvements to existing structural member connections.

#### **BUILDING CONSTRUCTION**

The existing roof assembly appears to consist of plywood, supported by 2 by 10 joists at 16 inches oncenter. In many locations, this plywood appears to be used concrete form plywood. This may indicate that there is a concrete roof deck above the plywood. For the purposes of this report, it is assumed that the roof is not concrete, as concrete decks are atypical for this building type. Roof construction shall be confirmed prior to any structural design of building modifications. The determination of the actual roof construction (concrete deck or wood framing) is critical to the design of the building modification.

For the majority of the building, the roof joists run east-west and bear on the east and west CMU walls, interior wood-framed bearing walls, and multi-ply LVL beams. In the southwest portion of the building, the joist framing switches direction. In this area, approximately 100 square feet of roof is supported by joists that run north-south. These joists bear on the CMU wall to the south and are nailed to a 2 by 10 east-west running joist to the north. This header joist is, in turn, supported in most areas by a two-ply,



#### STRUCTURAL INVESTIGATIVE REPORT

14 inch deep LVL beam directly below it. This header joist is unsupported for a 3 foot span on the east end of the entry area (above what appears to be an old electrical room), and a 4 foot span to the west of another LVL beam near the rear door.

in the northwest portion of the building, the roof plywood appears to be at a higher elevation than the rest of the roof. The roof plywood in this area is supported by 2 by 4 joists at 12 inch on-center. These 2 by 4 joists appear to bear on 2 by 10 roof joists in one area. However, this 2 by 10 framing is unorthodox and is not properly supported. Given the limited scope of this investigation, it appears that this area of the roof requires additional 2 by 10 framing, similar to other parts of the roof.

The bearing walls and columns rest directly on the building slab. No as-built documentation has been provided, and field measurement of slab thickness was not possible, so a typical 4 inch slab on grade is assumed to be the extent of the foundation for these bearing members.

#### STRUCTURAL DESIGN CRITERIA

For the current roof, the dead load is assumed to be 10 pounds per square foot (psf). This is the dead load that would be applied to interior bearing members if the deck dining option is chosen. If the roof is to be modified for rooftop dining, then the dead load is assumed to change to 15 psf to allow for sleepers, finish flooring systems and other possible modifications to the roof.

For both dining options, a 50 psf snow load will be applied, per current building codes. Alternate span loading conditions apply to multiple span members.

Currently, there is no live load applied to the roof. This would remain the case if the deck dining option is pursued. In the rooftop dining case, a 100 psf live load would be applied to the roof structure, per current building codes and alternate span loading conditions would apply to multiple span members. This constitutes a two- to three-fold increase in loading than what the roof was initially designed for.

The existing roof framing members are limited to a deflection equal to the span length divided by 120 ("L/120") where there is no ceiling and L/240 where there is a plaster ceiling. If the rooftop dining option is pursued, then these deflection criteria would change to L/180 and L/360, respectively.

#### ROOFTOP DINING OPTION

The client is considering modifying the structure to support rooftop dining. Converting the roof into a dining area requires a significant increase in the roof's load-carrying capacity to 100 psf. This modification in roof usage would also change the roof structure into a floor structure, which induces more stringent deflection criteria. For the reasons identified below, we believe that this dining option should not be pursyed.

Design Alaska, Inc.

Page 2 of 4



#### STRUCTURAL INVESTIGATIVE REPORT

The existing roof joists are sufficient, but several large beams and columns would need to be replaced to support the additional load. Also, several beams, columns and headers would have to be added to provide roof support where bearing walls are removed, and the slab would require strengthening under several columns.

The northwest ceiling joists would need to be framed and supported correctly in similar fashion to the main roof joists. Additional framing modifications may be needed in the south side of the building to support this increased loading. This would likely involve strengthening the existing header joist that runs east-west (described above), and possibly adding a column to support this header. A more extensive investigation of the framing within this area would be required if this option were to be pursued. . ...

if the roof were converted to a dining space, then several other building modifications would be required. These include two sets of stairs for roof access and agress, pony walls or guardrails of some kind and other life safety considerations. These building elements could require roof framing and support modifications, and possible foundation improvements.

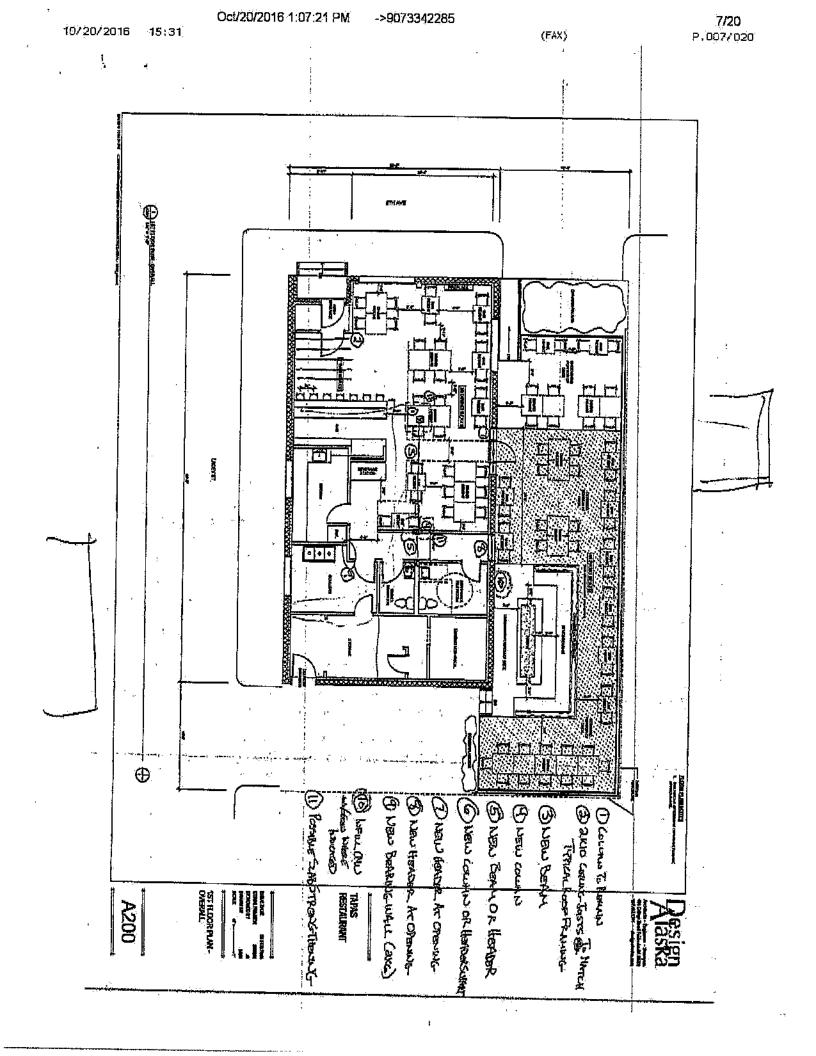
The roof dining option presents significant challenges to the existing structure which would require considerable design and construction effort, including modifying the existing structure and some new construction related to life safety requirements.

#### DECK DINING OPTION

The client is also considering converting the driveway to the east of the building into a deck to support outside dining in lieu of rooftop seating. This option does not require any modifications to the loading or structural design criteria of the existing roof structure.

Several modifications to the structure are proposed in the attached concept plans to accommodate the conversion to a restaurant and lounge. The existing beams would suffice to support the roof but several beams, columns and headers would have to be added to provide roof support where bearing walls are removed, as indicated in the attached concept plans. Slab strengthening may be required beneath columns associated with bearing wall removal. Verification of slab depth and steel reinforcing will determine the need for additional foundation support.

The northwest celling joists need to be framed and supported correctly, in similar fashion to the main roof joists, regardless of the option chosen. The attached concept proposes converting one of the existing openings in the CMU wall from a window to a door. This opening will need to be supported by a header, which could be wood, metal or concrete. Under this option, some existing openings in the CMU wall would be filled in with either concrete or CMU blocks.





#### STRUCTURAL INVESTIGATIVE REPORT

	small structures, including a root and possible connection to the building.
for typical	construction is expected to be relatively simple, requiring typical design and construction effort
siu i duini	construction is expected to be relatively simple service in a construction is expected to be serviced by
	This option would involve the design and construction of a deck structure, and associated ADA

The deck dining option involves typical light-frame construction and limited modifications to the existing structure. Existing known atructural deficiencies, such as the northwest roof framing, should be addressed during this alteration. While modifications are relatively limited, the appropriate design and construction of these alterations is critical. We recommend pursuing further design of this option,

#### OTHER OBSERVATIONS

Wille the scope of this report is limited to structural alterations associated with the concept plans, there were some observed signs of foundation settlement that should be considered. A slab crack extends across the entire building on the north slde and appears related to gypsum board cracking on the north slde side than the bottom, indicating that the east wall is rotating morthward. Given limited historical information about this condition, we cannot speak to the extent or rate of this settlement. However, it should be understood that further settlement is possible, and this would result in future wall cracking, and widening of the slab cracks.

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Dasign Alaska, Inc.

(FAX)



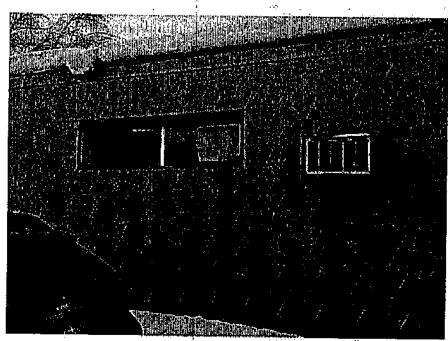


Figure 1: Existing cracks in east CMU wall, not addressed in this report.

Resign Alaska

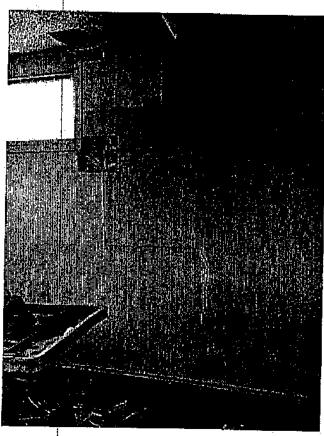


Figure 2: Crack in east gypsum board wall, not addressed in this report.



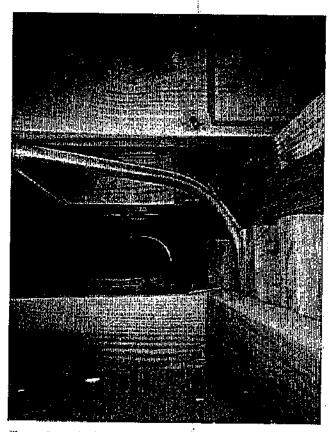


Figure 3: Typical roof joist framing - 2x10's at 16-inch on-center, lapped and bearing on bearing wall (right).

Aesign Alaska

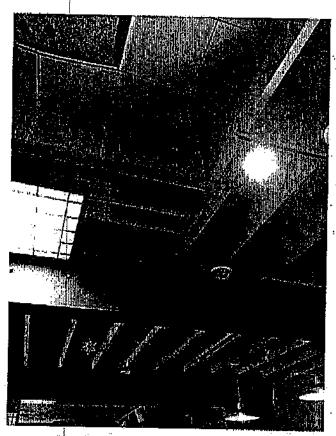


Figure 4: insufficient roof framing in Northwest corner.

**Alaska** 

PHOTO APPENDIX - Site Visit

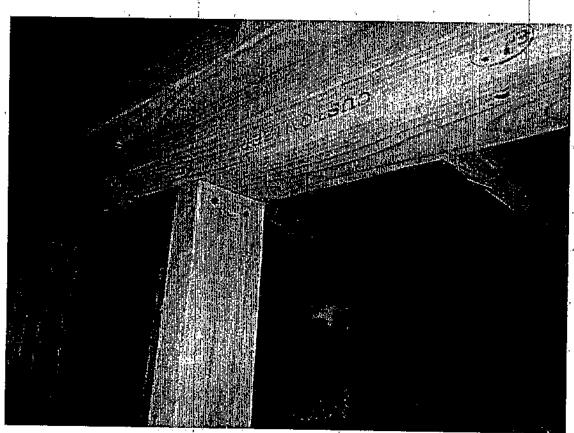


Figure 5: Roof Joist framing changes direction in southwest portion of building. North-south Joists (background) frame into a single east-west header Joist (above soffit framing shown in foreground).

Design Alaska, Inc.

Page 5 of B

**Design** Alaska

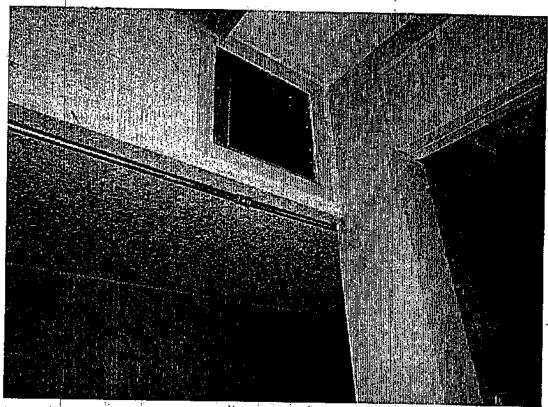


Figure 6: East-west header joist is directly above the double LVL beam (painted yellow, right), but is unsupported for the 3 fact span below soffit in this photo and a 4 foot span to the west.

**A**laska

PHOTO APPENDIX - Site Visit

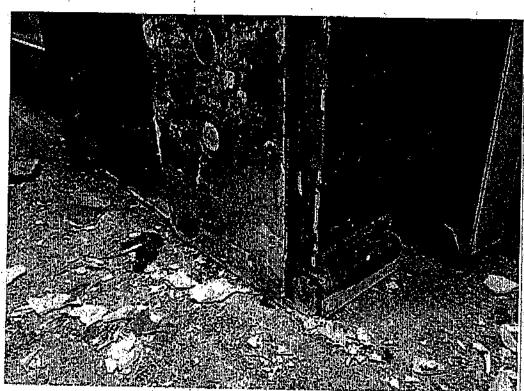


Figure 7: Existing column with stand-off base plate.

Design Alaska, Inc.

Page 7 of 8

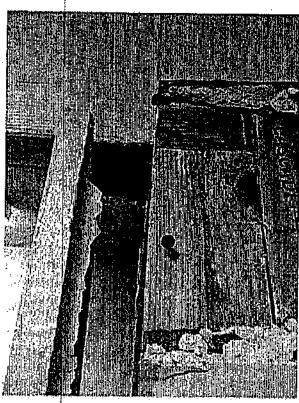


Figure 8: Insufficient connection of LVL beam to column in southwest portion of building.

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(FAX)

#### Bartlett, James

From:

Bartlett, James

Sent:

Friday, May 20, 2016 4:59 PM

To:

'frank@lavellesbistro.com'

Cc:

Miller, Chris

Subject:

Tapas Restaurant Concept

Attachments:

Tapas Restaurant\_05-20-16,pdf

Frank,

Attached is our concept for the rooftop dining at Tapas. I believe I have addressed a majority of the items we discussed at our meeting. Please let me know if you wish me to print off some 11X17 copies for your review. I hope I have gotten this to you before you left on your convention trip.

Have a good weekend.

James \_\_

#### ARCHITECTURAL CONCEPT

interior dining to consist of warm wood exposed structure. With the age of the facility, exposing the existing structure and collaborating with new exposed structure is intended to give the space a more intimate and we coming effect. Two tiered seating levels with booth and bar height seating and main level and dining seating at raised floor area, with all seating easily flexible to accommodate various party sizes. Bar area will seat approximately 7 with open bar ends and open view to kitchen area. Kitchen to be open or transparent as possible. Main entrance to facility will be from 6<sup>th</sup> avenue through entry vestibule to hostess area. Hostess area to provide access to both the main floor dining and the roof top dining. Accessible entry to restaurant shall be through rear entry that is at grade level with exterior site. Support to restaurant include scullery, walk-in cooler/freezer mechanical room and two accessible unisex restrooms.

Exterior dining to consist of small enclosure housing winding stair, a single seating area, dumbwaiter and beverage station. Roof top enclosure to be transparent to allow views from dining area to surrounding view of Fairbanks downtown. Roof top dining to consist of engineered decking boards across the surface of remaining roof with wood and cable rall guard rail. The profile of the cable rall will allow maximum visibility to surroundings. It is recommended to install a new 20 year membrane roof assembly prior to covering with roof top dining decking structure.

#### STRUCTURAL CONCEPT

Rooftop dining deck surface would be supported by framing members that span over the roofing membrane and are supported at existing bearing lines. This framing would likely consist of steel or wood beams, wood joists, and engineered decking boards, such as Trex decking.

At all north-south walls that are proposed to be demolished, new exposed glulam beams and columns would be installed to provide roof support. Additional glulam beams and/or columns may be desired for aesthetics or to provide a consistent pattern of exposed wood structure.

The northeast corner of the building appears to be settling, causing cracks in the CMU wall and slab. This problem would be exacerbated with the increased loading associated with rooftop dining, so building modifications would have

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to include stabilization of the structure in the northeast corner. This would require a soils investigation and possibly expensive soil improvement and foundation strengthening measures.

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#### 550 West 7" Ave. Ste. 1600 Anchorage, Alaska 99501 (907) 269-0350 FAX (907) 334-2285

# Application

Tioner T. C.				
License Information		Fees*	75	
Liquor License Number: 3767		Waiver Fee	\$ 220	
License Type:			3000	
La concern login	of place	Penalty	\$ 1,000.00	
o to y, - or ought of Offorgalitzed)	11/2000	(If applicable)	4 1,000.00	
	ough	Total Submitted	\$12000-	
Name of Licensee:	_//	*The fee is non-refundable	1300-	
LIHS Tracy Tzou	J	The fee is non-refundable		
Doing Business As (Business Name)		Telephone Number:		
Mailing Address:		(907) -74h	5747	
775 W EVERGREEN AVE	Street Address of	or Location of Busines	SS /	
	7774 11	EVEYGREEN	n. G	
Palmer AC 99645	City: Dal	GVETTEEN	MVE	
	City: Pals	Mer		
Waiver Request Information				
This waiver application is the: ☐ 1 <sup>st</sup> Request ☐ 2 <sup>nd</sup> Requ	uest □ 3 <sup>rd</sup> Request □	Other		
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2016 Yes	□ No			
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## Waiver of Operation Application

License Information		Г———	1411
		Fees*	17111
Liquor License Number: 535	7	Waiver Fee	\$ 300,00
License Type: Restaurant Beating Place	source at the	Penalty	\$ 1,000.00
Local Governing Body: (City, Borough or Unorganized)	urt Wind	(If applicable)	,
Muni of Anch	_	Total Submitted	\$300V
Doing Business As (Business Name) Restaurant	NY AN Aladen	*The fee is non-refundable	2
Doing Business As (Business Name) Lestaurant.	Inc.	Telephone Number:	CD 10
Matting Address:	MACLINI	70 1-223	
5200 Juneau ST	5227 O	Tewaren t	ss tuy
Archorage, Ak. 99518	City: ANG	horage Ak	<u>.</u>
Waiver Request Information			
This waiver application is the:	est □ 3 <sup>rd</sup> Request □	Other	
Waiver Request for Calendar Year: 2016 Is this license for ☐ Yes			
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ABC 269-0350			
Signature of Licensee(s)			
Signature	Signature		
Name (Please Print) To huran - President	Name (Please Print)		
Date Oct 19 2016	Date		

# Waiver of Operation Application

License Information	·	Fees*	7-lo
Liquor License Number: 1566	<u> </u>	Waiver Fee	00000
		A STACT LCC	\$25000
License Type: Liq. Desp.	· · · · · · · · · · · · · · · · · · ·	Penalty	\$ 1.000.00
Local Governing Body: (City, Borough or Unorganized)		(If applicable)	\$ 1,000.00
Spenordy AK		( FF	
, , ,		Total Submitted	\$ Acres
Name of Licensee		<u> </u>	2500-
Name of Licensee: SLF Int. Inc. Steven L. Doing Business As (Business Name)	Floris	*The fee is non-refundable	
	1 (dianz)		
Steines Sports Kar		Telephone Number:	****
Mailing Address: 1409 w 3444	Street Address	or Location of Busines	-0103
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Anch, A/L 99503	1409	434th	
	City:	Inch.	
Waiver Request Information			
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may/June of 2017.			
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